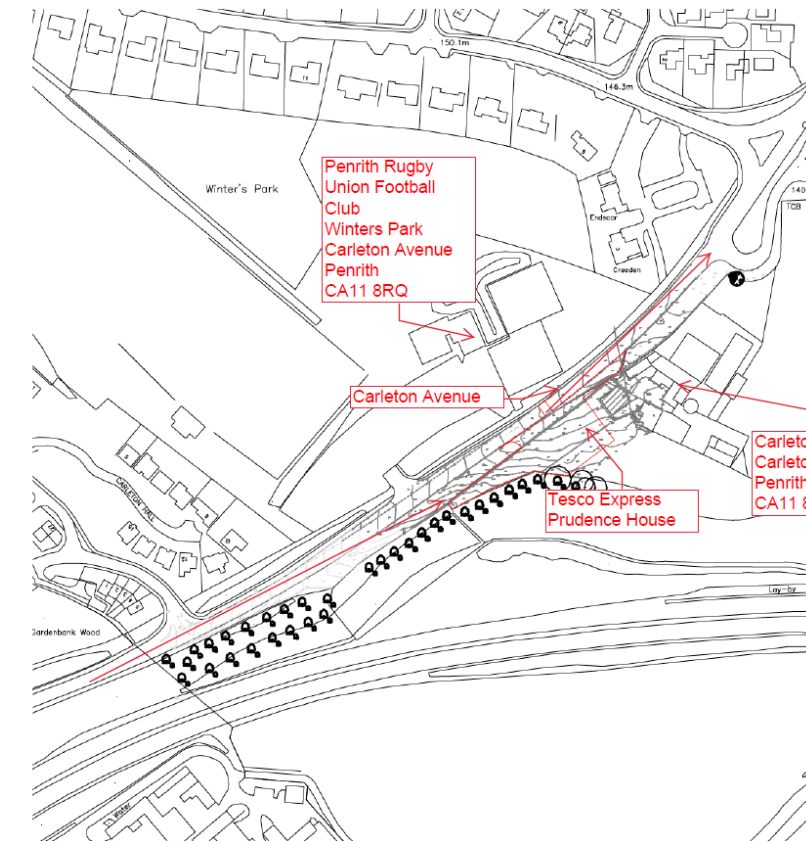


24/8053 Prudence House



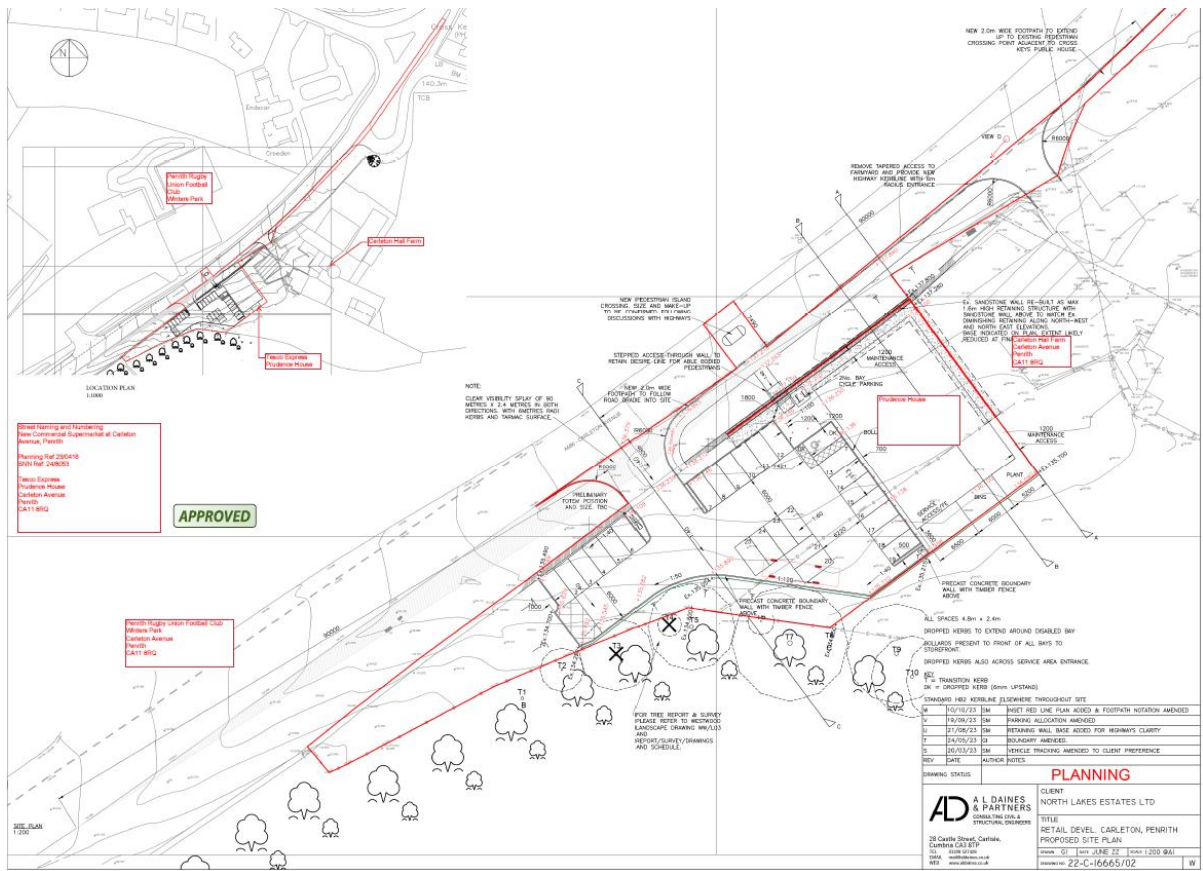
APPROVED

Street Naming and Numbering New Commercial Supermarket at Carleton Avenue, Penrith
 Planning Ref 23/0416
 SNN Ref: 24/8053

Tesco Express
 Prudence House
 Carleton Avenue
 Penrith
 CA11 8RQ

Carleton Hall Farm
 Carleton Avenue
 Penrith
 CA11 8RQ

A	25/05/23	GI	BOUNDARY AMENDED
REV	DATE	AUTH	NOTES
DRG STATUS			PLANNING
 28 Castle Street, Carlisle, Cumbria CA3 8TP TEL: 01273 878788 EMAIL: info@aldaines.co.uk WEB: www.aldaines.co.uk	CLIENT NORTH LAKES ESTATES LTD		
	TITLE RETAIL DEV., CARLETON, PENRITH SITE LOCATION PLAN		
DRAWN: GI DATE REV 23 SCALE 1:2500 @ A1		DRAWING NO: 22-C-16665-011	



Street Naming and Numbering New Commercial Supermarket at Carleton Avenue, Penrith
 Planning Ref 23/0416
 SNN Ref: 24/8053
 Tesco Express
 Prudence House
 Carleton Avenue
 Penrith
 CA11 8RQ

APPROVED

Penrith Rugby Union Football Club
 Winters Park
 Carleton Avenue
 Penrith
 CA11 8RQ

NEW 2.0m WIDE FOOTWAY TO EXTEND UP TO EXISTING PROPRIETARY CROSSING POINT ADJACENT TO CROSS ROAD PUBLIC HOUSE.

REMOVE UNNEEDED ACCESS TO FORWARD AND PROVIDE NEW REGULAR SCHEDULE WITH NEW SIGNPOST ENTRANCE

NEW PRECINCTURE ISLAND CROSSING, SIDE AND WALKWAY TO BE PROVIDED. FULL AND DETAILED DISCUSSION WITH HIGHWAYS

STEPPED ACCESS THROUGH WALL TO RETAIN SECURE LIFE FOR PUBLIC HOUSE RECEPTION

NEW 2.0m WIDE FOOTWAY TO FOLLOW ROAD BOUNDARY INTO SITE

TEMPORARY TOWER POSITION AND SITE TRC

PA SANITONRY WILL BE BUILT AS MAX 1.8m HIGH RETAINING STRUCTURE WITH SANITONRY WALL ADJACENT TO WHICH EXISTING SANITONRY BOUNDARY NORTH-WEST SHALL INDICATE PA SANITONRY LEVELS REDUCED AT CARLETON FARM

1200 MAINTENANCE ACCESS

NEW 2.0m WIDE FOOTWAY TO FOLLOW ROAD BOUNDARY INTO SITE

PRECAST CONCRETE BOUNDARY WALL WITH TIMBER FENCE

ALL SPACES 4.8m x 2.4m

SHOVED KERBS TO EXTEND FRONT OF ALL BAYS TO PROVISION

SHOVED KERBS ALSO ACROSS SERVICE AREA ENTRANCE

TRANSITION HERE TO "C" DRIPPED KERBS (SHOW UPLIFTS)

STANDARD 480 KERBS TO FOLLOW THROUGHOUT SITE

17/05/23	EM	INSET RED LINE PLAN ADDED & FOOTING NOTATION AMENDED
17/05/23	EM	PARKING ALLOCATION AMENDED
17/05/23	EM	RETAINING WALL BAY ADDED FOR HIGHWAYS CLARITY
14/05/23	EM	BOUNDARY AMENDED
16/03/23	EM	VEHICLE TRACKING AMENDED TO CLIENT PREFERENCE
DATE	BY	REVISION NOTES
DRAWING STATUS: PLANNING		
 28 Castle Street, Carlisle, Cumbria CA3 8TP TEL: 01273 878788 EMAIL: info@aldaines.co.uk WEB: www.aldaines.co.uk	CLIENT NORTH LAKES ESTATES LTD	
	TITLE RETAIL DEV., CARLETON, PENRITH PROPOSED SITE PLAN	
DRAWN: GI DATE: JUNE 23 SCALE: 1:2500 @ A1		DRAWING NO: 22-C-16665/02