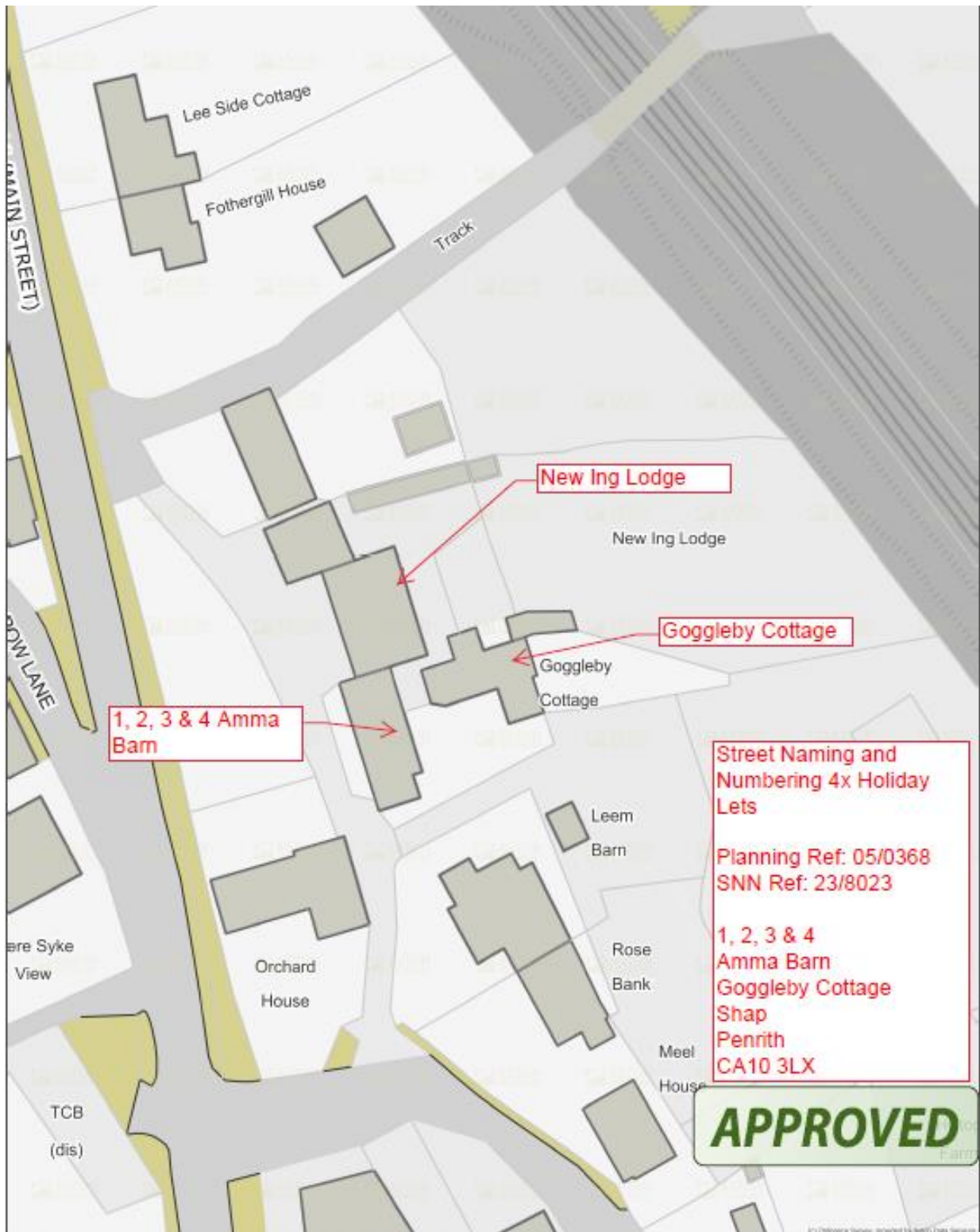


23/8023 1-4 Amma Barn

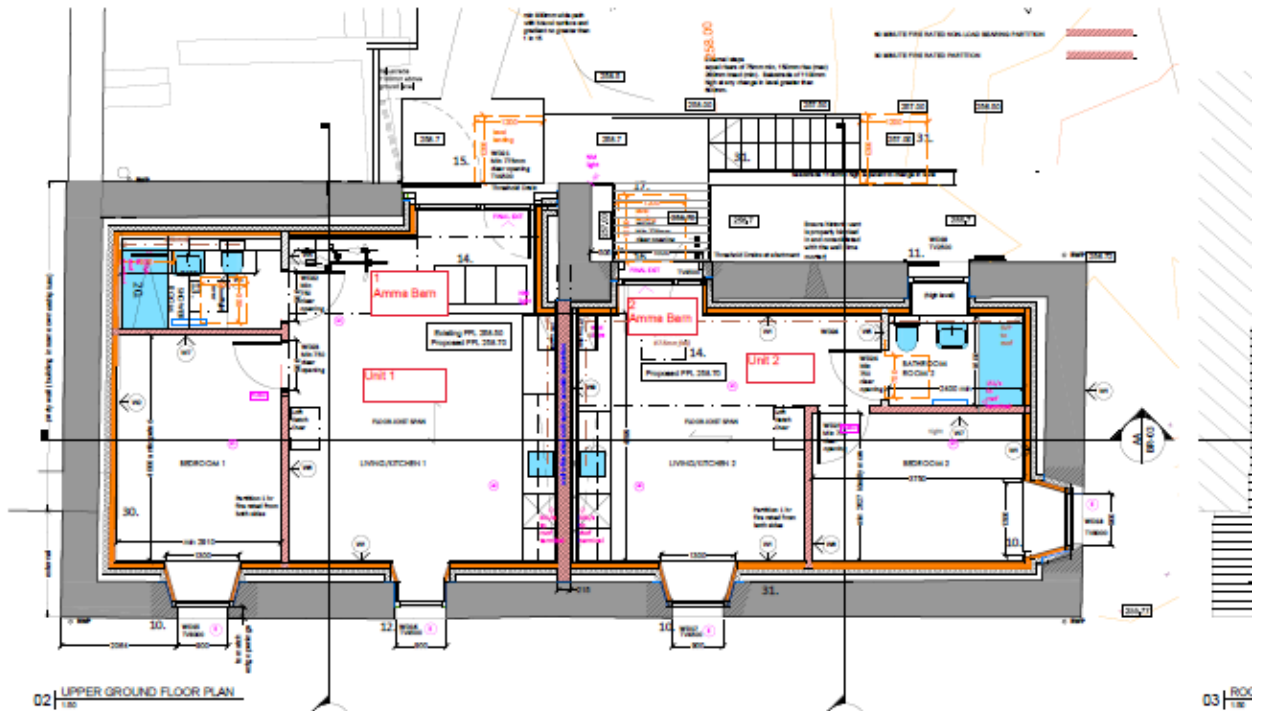


23/8023 1, 2, 3 & 4 Amma Barn

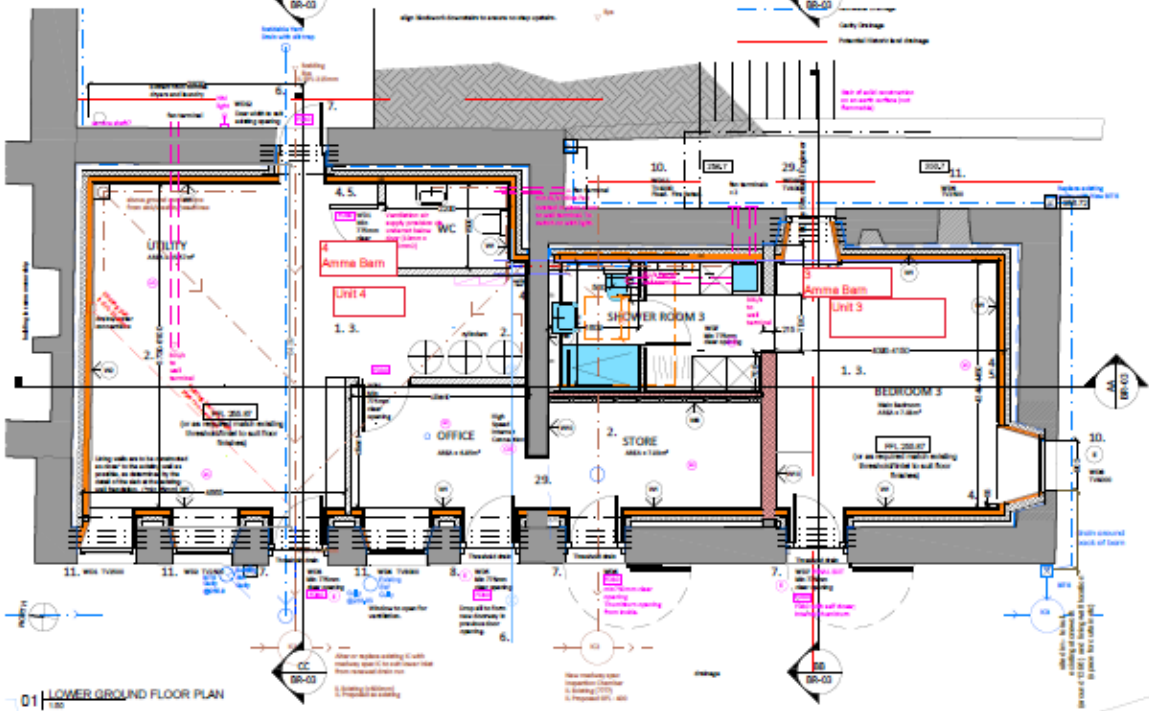
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02 UPPER GROUND FLOOR PLAN



01 LOWER GROUND FLOOR PLAN

NOTES TO THIS ISSUE

Waterproofing
If the floor is being reconstructed in advance of a full plans application, the specialist waterproofing designer must ensure that the proposal meets all current building regulations for residential accommodation, and ideally have the proposal signed off by building control as suitable for a residential use before work is put in hand.

Drainage
Ensure that the below slab drainage works with the lining wall location and existing invert levels. If invert levels are to be lowered in the late - it is recommended that this is done before the floor construction to ensure appropriate relationship between levels. The drainage will need careful thought below slab level to ensure that different runs do not obstruct each other.

Living Wall
Until the profile of the wall below ground level, and the level of the underside of the foundations is exposed, the position of the lining wall cannot be determined. The lining wall is to be constructed as close to the existing wall as possible SUBJECT TO a minimum of 25mm away from the wall/floor of waterproofing membrane at all points. This is to maximise the internal floor space.

First floor level
This will be related to the ground floor level and in turn the foundation projection. The levels shown rely on being able to fit with the owner's preferred floor level of the existing threshold level at the entrance door to Unit 3 which in turn allow the existing bricks all along the front elevation to remain as existing.

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