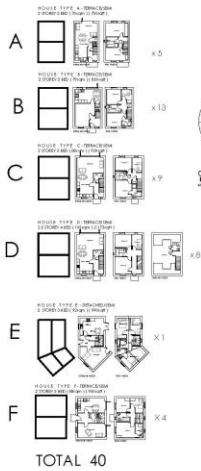


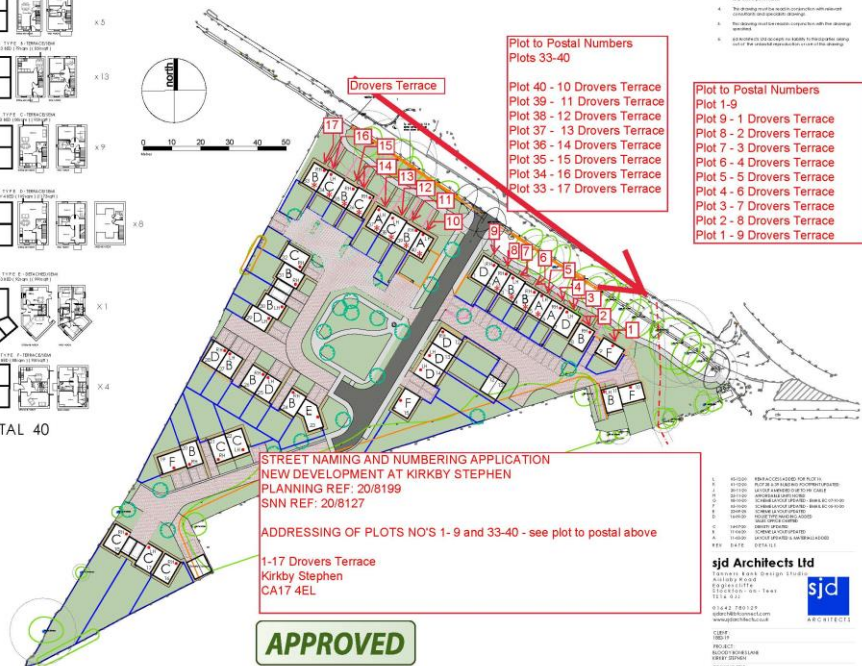
# 20/8127 1-17 Drovers Terrace

**SITE AREA**  
 15237sqm  
 3.76 acres  
 1.52 hectares  
 density 10.6dwellings/acre

- TARMAC ROAD (TO ADOPTABLE STANDARDS)
  - TARMAC FOOTPATHS & MARGIN (TO ADOPTABLE STANDARDS)
  - BRINDLE BLOCK PAVING TO DRIVES AND SHARED DRIVES
  - BUFF TEXTURED PAVING FLAGS TO PATHS AND PATIOS
  - GRASSED AREAS
  - 1.8m High Close Boarded Timber Fence
  - 1.5m Open Boarded Timber Fence
  - Charcoal Strip of Paving To demark Plots
  - 1000mm High Steel Ectile Railing
  - Indicative location of Faciure Wall
  - Indicative location of hedge
- ✳ Affordable Unit



TOTAL 40



**Plot to Postal Numbers Plots 33-40**  
 Plot 40 - 10 Drovers Terrace  
 Plot 39 - 11 Drovers Terrace  
 Plot 38 - 12 Drovers Terrace  
 Plot 37 - 13 Drovers Terrace  
 Plot 36 - 14 Drovers Terrace  
 Plot 35 - 15 Drovers Terrace  
 Plot 34 - 16 Drovers Terrace  
 Plot 33 - 17 Drovers Terrace

**Plot to Postal Numbers**  
 Plot 1-9  
 Plot 9 - 1 Drovers Terrace  
 Plot 8 - 2 Drovers Terrace  
 Plot 7 - 3 Drovers Terrace  
 Plot 6 - 4 Drovers Terrace  
 Plot 5 - 5 Drovers Terrace  
 Plot 4 - 6 Drovers Terrace  
 Plot 3 - 7 Drovers Terrace  
 Plot 2 - 8 Drovers Terrace  
 Plot 1 - 9 Drovers Terrace

**STREET NAMING AND NUMBERING APPLICATION**  
 NEW DEVELOPMENT AT KIRKBY STEPHEN  
 PLANNING REF: 20/8199  
 SNN REF: 20/8127  
 ADDRESSING OF PLOTS NO'S 1-9 and 33-40 - see plot to postal above  
 1-17 Drovers Terrace  
 Kirkby Stephen  
 CA17 4EL

**APPROVED**

- NOTES:**
1. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF THE NECESSARY SERVICES TO THE DEVELOPMENT.
  2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF THE NECESSARY SERVICES TO THE DEVELOPMENT.
  3. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF THE NECESSARY SERVICES TO THE DEVELOPMENT.
  4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF THE NECESSARY SERVICES TO THE DEVELOPMENT.
  5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF THE NECESSARY SERVICES TO THE DEVELOPMENT.

**sjd Architects Ltd**  
 100-100A, 100B, 100C, 100D, 100E, 100F, 100G, 100H, 100I, 100J, 100K, 100L, 100M, 100N, 100O, 100P, 100Q, 100R, 100S, 100T, 100U, 100V, 100W, 100X, 100Y, 100Z  
 TEL: 01442 780129  
 WWW.SJDARCHITECTS.COM  
 www.sjdarchitects.com

**sjd**  
 ARCHITECTS

**PLANNING**

DATE: 20/08/2024  
 DRAWING NO: 1883-19-101